

WASHINGTON METROPOLITAN AREA TRANSIT AUTHORITY

WMATA CHILLER PLANT 3670 NEW HAMPSHIRE AVE. N.W. WASHINGTON

GROUND WATER REMEDIATION AND TREATMENT SYSTEM

BZA - VARIANCE SUBMITTAL

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WASHINGTON METROPOLITAN AREA TRANSIT AUTHORITY

OFFICE OF ENVIRONMENTAL MANAGEMENT
& INDUSTRIAL HYGIENE (EMIH)

APPROVED CARLA GRANO, P.E.

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12420 MILESTONE CENTER DR
SUITE 150
GERMANTOWN, MD 20876

WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE GROUNDWATER REMEDIATION AND TREATMENT SYSTEM

COVER SHEET

SCALE

DRAWING NO.

A-000

Board of Zoning Adjustment
District of Columbia
CASE NO. 20525
EXHIBIT NO. 5
SHEET NO.
1 OF 20

ABBREVIATIONS

&	AND	EXH	EXHAUST	MACH	MACHINE	SIM	SIMILAR
@	AT	EXIST	EXISTING	MAS	MASONRY	SL	SLEEVE
ACP	ACOUSTIC CEILING PANEL	EXP	EXPOSED	MATL	MATERIAL	SM	SMALL
ADA	AMERICANS WITH DISABILITIES ACT	EXPN	EXPANSION	MAX	MAXIMUM	SP	SOUNDPROOF
AFF	ABOVE FINISHED FLOOR	EXT	EXTERIOR	MFR	MANUFACTURER	SPEC	SPECIFICATION
AFG	ABOVE FINISHED GRADE	EXIST	EXISTING	MIN	MINIMUM	SQ	SQUARE
ALT	ALTERNATE			MISC	MISCELLANEOUS	SS	STAINLESS STEEL
ALUM	ALUMINUM	FA	FIRE ALARM	MO	MASONRY OPENING	STD	STANDARD
ANOD	ANODIZED	FD	FLOOR DRAIN	MTD	MOUNTED	STG	SEATING
ARCH	ARCHITECT(URAL)	FE	FIRE EXTINGUISHER	MTG	MEETING	STL	STEEL
		FEC	FIRE EXTINGUISHER CABINET	MTL	METAL	STOR	STORAGE
BD	BOARD	FFE	FINISHED FLOOR ELEVATION			SUSP	SUSPENDED
BLDG	BUILDING	FIN	FINISH	N	NORTH	SYS	SYSTEM
BLKG	BLOCKING	FIN FLR	FINISH FLOOR	NO	NUMBER		
BRK	BRICK	FIN GR	FINISH GRADE	NOM	NOMINAL	T	TREAD
		FLR	FLOOR	NTS	NOT TO SCALE	TEMP	TEMPORARY
CG	CORNER GUARD	FLUOR	FLUORESCENT			THK	THICK
CIP	CAST-IN-PLACE	FT	FOOT	OA	OVERALL	THR	THRESHOLD
CJ	CONTROL JOINT			OC	ON CENTER	TYP	TYPICAL
C/L	CENTER LINE	GA	GAUGE	OD	OUTSIDE DIAMETER	UC	UNDERCUT
CLR	CLEAR	GC	GENERAL CONTRACTOR	OH	OVERHEAD	UL	UNDERWRITERS LABORATORY
CLS	CLOSURE	GR	GRADE	OPNG	OPENING		
CMU	CONCRETE MASONRY UNIT	GRD	GROUND			VER	VERIFY
COL	COLUMN	GYP	GYPSPUM WALL BOARD	PERIM	PERIMETER	VERT	VERTICAL
CONC	CONCRETE			PFB	PREFABRICATED	VIF	VERIFY IN FIELD
CONST	CONSTRUCTION	HB	HOSE BIB	PFN	PREFINISHED		
CONT	CONITNUOUS	HDR	HEADER	PNL	PANEL	W	WEST
CSMT	CASEMENT	HDW	HARDWARE	PNT	PAINT	W/	WITH
		HM	HOLLOW METAL	PR	PAIR	WD	WOOD
D	DRAIN	HOR	HORIZONTAL	PROP	PROPERTY	W/O	WITHOUT
DET,DTL	DETAIL	HR	HOUR	PT	POINT	WP	WATERPROOF
DIAG	DIAGONAL	HT	HEIGHT	PTD	PAINTED	WSCT	WAINSCOT
DIA	DIAMETER	HTG	HEATING	PLWD	PLYWOOD	WT	WEIGHT
DIM	DIMENSION	HVAC	HEAT/ VENT./ AIR COND.	PWR	POWER	WTR	WATER
DIST	DISTANCE	HW	HOT WATER				
DN	DOWN	HWH	HOT WATER HEATER	R	RISER		
DS	DOWNSPOUT			RA	RETURN AIR		
DWG	DRAWING	ID	INSIDE DIAMETER	RAD	RADIUS		
		IN	INCHES	RCP	REFLECTED CEILING PLAN		
E	EAST	INCL	INCLUDE	REC	RECESS		
EA	EACH	INFO	INFORMATION	REF	REFERENCE		
EJ	EXPANSION JOINT	INSUL	INSULATE (D) (ING)	REINF	REINFORCE (D) (ING)		
EL	ELEVATION	INT	INTERIOR	REQ	REQUIRE (D) (MENTS)		
ELEC	ELECTRIC			REV	REVISION		
ELEV	ELEVATION	JAN	JANITOR	RFG	ROOFING		
EMER	EMERGENCY	JB	JUNCTION BOX	RM	ROOM		
ENC	ENCLOSE	JST	JOIST	RO	ROUGH OPENING		
ENC	ENCLOSE	JT	JOINT				
EOS	EDGE OF SLAB			S	SOUTH		
EQ	EQUAL			SA	SUPPLY AIR		
EQUIP	EQUIPMENT	LAB	LABORATORY	SCH	SCHEDULE		
EST	ESTIMATE	LGT	LENGTH	SECT	SECTION		
ETR	EXISTING TO REMAIN	LTG	LIGHTING	SFRM	SPRAY APPLIED FIRE RESISTIVE MATERIAL		
		LVR	LOUVER	SHELV	SHELVING		

SYMBOL LEGEND

	PLAN NORTH		TRUE NORTH	NORTH ARROW
	SECTION DETAIL			SECTION
	DETAIL NUMBER			DETAILS
	SECTION DETAIL			ELEVATION
				ELEVATION INDICATOR
	SECTION DETAIL			INTERIOR ELEVATION
	ROOM NAME			ROOM TAG
				DOOR TAG
				KEYNOTE
				PARTITION TYPE

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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

ABBREVIATIONS AND SYMBOLS

SCALE	DRAWING NO.	SHEET NO.
	A-001	2 OF 20

BUILDING DESIGN ANALYSIS

CODE ANALYSIS

CODE COMPLIANCE

INTERNATIONAL BUILDING CODE 2012
 NFPA 101 LIFE SAFETY CODE 2011
 ICC ENERGY CONSERVATION CODE 2012
 ICC FIRE CODE 2012
 ICC EXISTING BUILDING CODE 2012
 DISTRICT OF COLUMBIA BUILDING CODE 2013
 DISTRICT OF COLUMBIA TITLE 12 DCMR, CONSTRUCTION CODES SUPPLEMENT 2013
 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE 2013
 DISTRICT OF COLUMBIA FIRE CODE 2013
 OSHA REGULATION STANDARDS-29 CFR

DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE 2013
 EXEMPTION - 2013 DC BUILDING CODE 101.4.9.3 EXCEPTION 1.b

INTERNATIONAL BUILDING CODE 2012 REQUIREMENTS

SECTION 302-USE AND OCCUPANCY CLASSIFICATION

- CLASSIFICATION FOR NEW ADDITION: U - UTILITY
- CLASSIFICATION FOR EXISTING BUILDING: U - UTILITY
-

SECTION 503-GENERAL BUILDING HEIGHT AND AREA LIMITATIONS

- ALLOWABLE BUILDING AREA FOR GROUP-U CONSTRUCTION TYPE IIB: TWO STORIES AT 8,500 SQFT PER FLOOR
- GROSS AREA EXISTING: 4,072.50 SQFT
- GROSS AREA NEW: 1,846.18 SQFT
- TOTAL BUILDING GROSS AREA: 5,918.68 SQFT
- ALLOWABLE BUILDING HEIGHT FOR GROUP-U CONSTRUCTION TYPE IIB: 55'-0"
- ACTUAL BUILDING HEIGHT: 29'-8"

SECTION 601-TYPES OF CONSTRUCTION

- TYPE OF CONSTRUCTION: IIB
- FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS-IIB (TABLE 601):
 1. PRIMARY STRUCTURAL FRAME: 0
 2. BEARING WALLS-EXTERIOR/INTERIOR: 0
 3. NONBEARING WALLS AND PARTITIONS-INTERIOR: 0
 4. FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0
 5. ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0

- FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (FSD) - UTILITY GROUP (TABLE 602):
 1. FSD FROM CURVED EXTERIOR WALL TO CENTERLINE OF PUBLIC WAY- 4'-9" = 1HR
 2. FSD FROM SIDE WALL TO CENTERLINE OF PUBLIC WAY - 5'-3" = 1HR

SECTION 901 - FIRE PROTECTION SYSTEMS

- EXISTING BUILDING SPRINKLED: NO
- ADDITION SPRINKLED: NO

SECTION 1004 - OCCUPANT LOAD

- MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (TABLE 1004.1.2/ NFPA 101 LIFE SAFETY CODE 2011 TABLE 7.3.1.2) INDUSTRIAL AREA 100 GROSS AREA PER OCCUPANT:
 1. TOTAL OCCUPANT LOAD FOR ADDITION: 13
 2. TOTAL OCCUPANT LOAD FOR EXISTING BUILDING: 25
 3. TOTAL OCCUPANT LOAD ADDITION + EXISTING BUILDING: 38
 4. EXPECTED OCCUPANT LOAD: 2 EMPLOYEES, TWICE A WEEK FOR TWO HOURS AT A TIME

SECTION 1009.4 - STAIRWAY WIDTH

- STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES (EXCEPTION 1)

SECTION 1016 EXIT ACCESS TRAVEL DISTANCE

- EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.2) FOR OCCUPANCY-U =300' FOR NON-SPRINKLED BUILDINGS

SECTION 1021 - NUMBER OF EXITS (TABLE 1021.2 (2))

- NUMBER OF REQUIRED EXITS FROM FIRST FLOOR: 1
 1. NUMBER OF EXITS PROVIDED: 2
- NUMBER OF REQUIRED EXITS FROM SECOND FLOOR: 1
 1. NUMBER OF EXITS PROVIDED: 1

SECTION 1022.2 - CONSTRUCTION (INTERIOR EXIT STAIRWAYS)

- INTERIOR EXIT STAIRWAY ENCLOSURE SHALL HAVE A FIRE-RESISTANCE RATING OF 1 HOUR

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ARCHITECTURAL GENERAL NOTES 1

SCALE

DRAWING NO.

SHEET NO.

A-002

3 OF 20

BUILDING DESIGN ANALYSIS

CODE ANALYSIS

SECTION 1023.2 - EXIT PASSAGEWAY WIDTH

- EXIT PASSAGEWAY SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.

INTERNATIONAL ENERGY CONSERVATION CODE 2012 REQUIREMENTS

SECTION C301 CLIMATE ZONES

- PROJECT CLIMATE ZONE 4A

SECTION C401 COMMERCIAL ENERGY EFFICIENCY

- SECTION C401.2.1 APPLICATION TO EXISTING BUILDINGS-COMPLIANCE WITH SECTION C402

SECTION C402 BUILDING ENVELOPE REQUIREMENTS

- SECTION C402.1.GENERAL PRESCRIPTIVE 1 (TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS)
 - ROOF-INSULATION ENTIRELY ABOVE DECK = R-25CI
 - WALLS ABOVE GRADE-MASS = R-9.5CI
 - SLAB-ON-GRADE FLOORS-UNHEATED SLAB = R-10 24 BELOW
 - OPAQUE DOORS SWINGING = U-0.61
 - OPAQUE DOORS ROLL-UP = R-7.7

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ARCHITECTURAL GENERAL NOTES 2

SCALE

DRAWING NO.

SHEET NO.

A-003

4 OF 20

BUILDING DESIGN ANALYSIS

ZONING ANALYSIS

PROPERTY ZONING

PROPERTY ADDRESS: 3670 NEW HAMPSHIRE AVE NW-TWO ZONE DESIGNATIONS

- SQUARE: 2898
 - LOT 47: NC-8 GEORGIA AVE. MIXED USE NEIGHBORHOOD COMMERCIAL
 - LOT 21: RF-1 RESIDENTIAL FLAT
 - APPLIED FOR LOT CONSOLIDATION WITH THE OFFICE OF SURVEYORS 3/2021
- PERMITTED USE FOR (EXISTING+ADDITION): TRANSPORATION INFRASTRUCTURE

NC-8 ZONING:

- MAXIMUM BUILDING HEIGHT: 65' (STORIES=NO LIMIT)
 1. EXISTING BUILDING HEIGHT: 45'-3"
 2. ADDITION: 30'-4"
- MAX. NON-RESIDENTIAL USE FLOOR AREA RATIO: 2.5 X 5,163 = 12,907.5 SQFT
 1. EXISTING CHILLER PLANT FLOOR AREA: 3,718.50 SQFT
 2. ADDITION FLOOR AREA: 392.18 SQFT
 3. TOTAL FLOOR AREA: 4,110.68 SQFT
- PERCENTAGE OF LOT OCCUPANCY: OTHER-100%
- REAR/SIDE SETBACK: 12'-0" MINIMUM/ NONE

RF-1 ZONING:

- MAXIMUM BUILDING HEIGHT: 35' (STORIES ALLOWED=3/ PROVIDED=2)
 1. ADDITION: 30'-4"
- MAX. FLOOR AREA RATIO: 0.9 X 2016 = 1814.4 SQFT
 1. EXISTING CHILLER PLANT FLOOR AREA: 354 SQFT
 2. ADDITION FLOOR AREA: 1,454 SQFT
 3. TOTAL FLOOR AREA: 1,808 SQFT
- PERCENTAGE OF LOT OCCUPANCY: 42% (MINOR FLEXABILITY APPROVAL)
- REAR/SIDE SETBACK: 20'-0" MINIMUM/NONE
 1. PROPOSED REAR SETBACK 21'-0"

HISTORIC DESIGNATION:

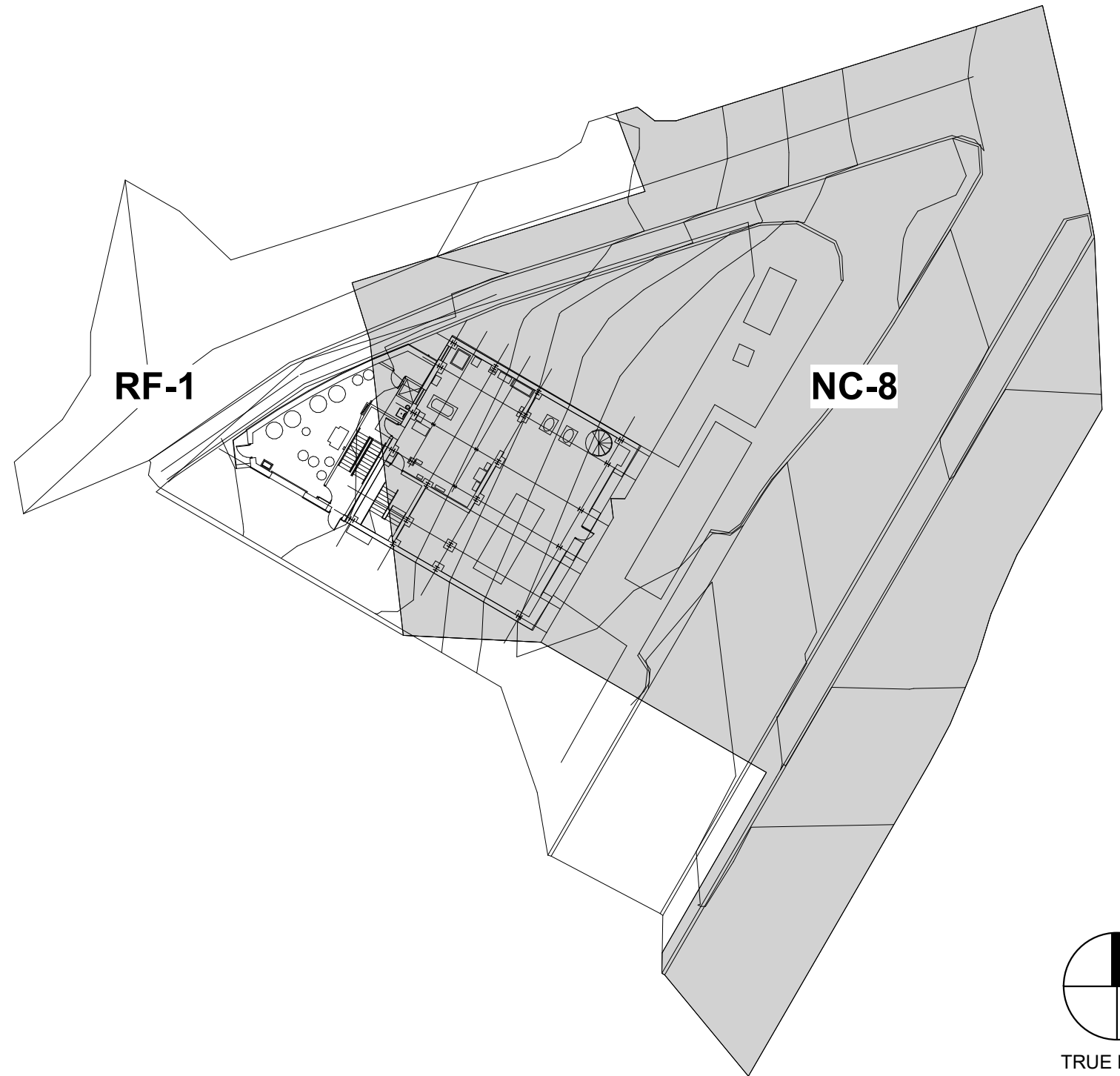
- HISTORIC LANDMARK-ENGINE COMPANY 24 PETWORTH FIREHOUSE

GREEN AREA RATIO CHAPTER 6:

- EXEMPTION-DCMR TITLE 11 SUBTITLE C CHAPTER 601.7

VEHICLE PARKING CHAPTER 7:

- HISTORIC DESIGNATION-PARKING WAIVER DCMR TITLE 11 SUBTITLE C CHAPTER 7



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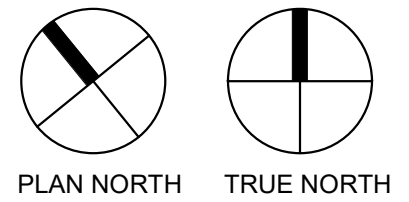
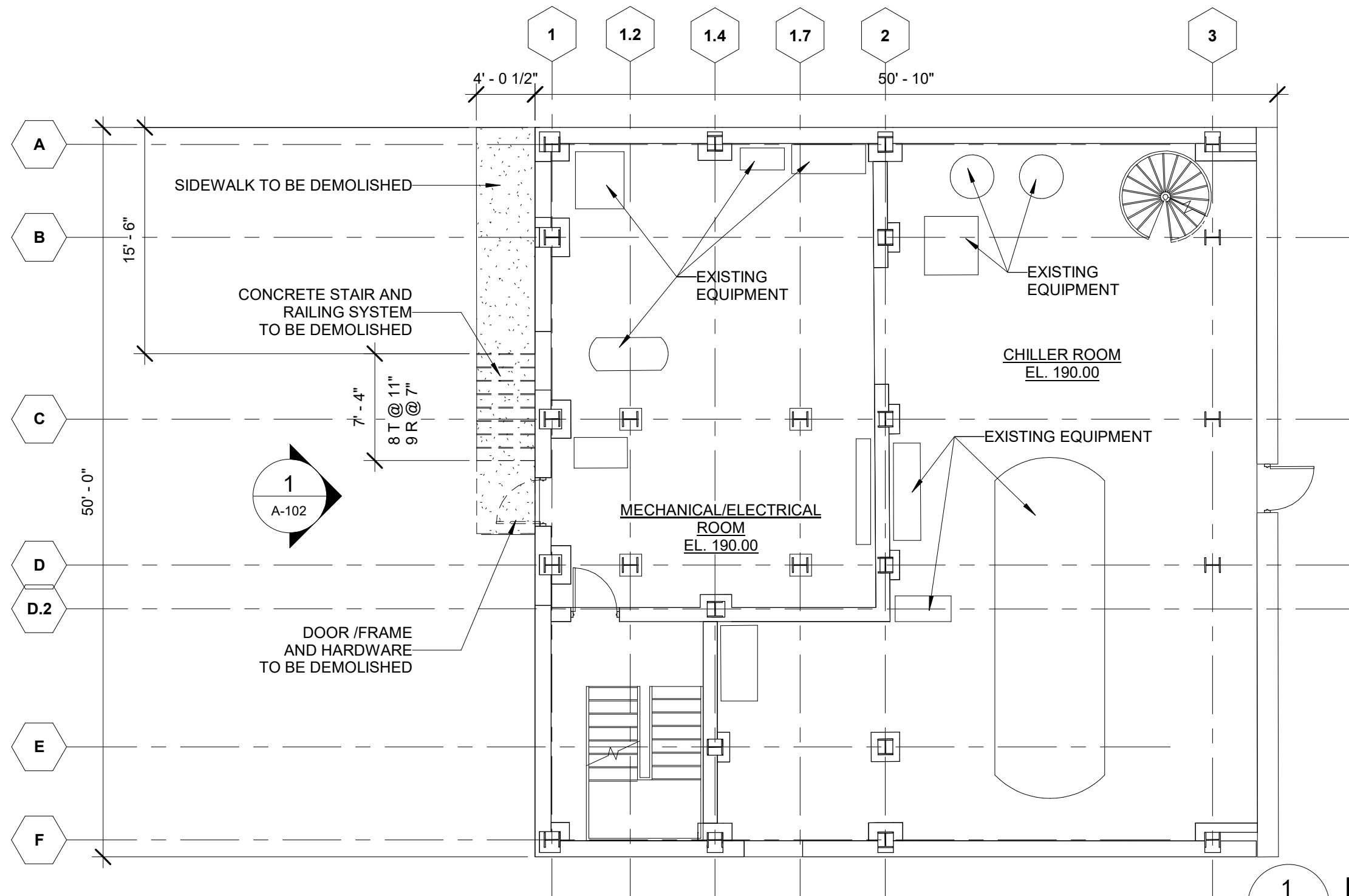


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WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE GROUNDWATER REMEDIATION AND TREATMENT SYSTEM

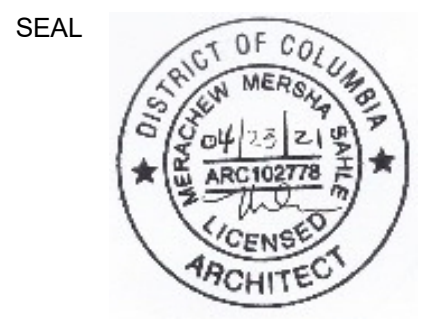
ARCHITECTURAL ZONING ANALYSIS

SCALE	DRAWING NO. A-004	SHEET NO. 5 OF 20
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1
A-101 **DEMOLITION - FIRST FLOOR**
1/8" = 1'-0"

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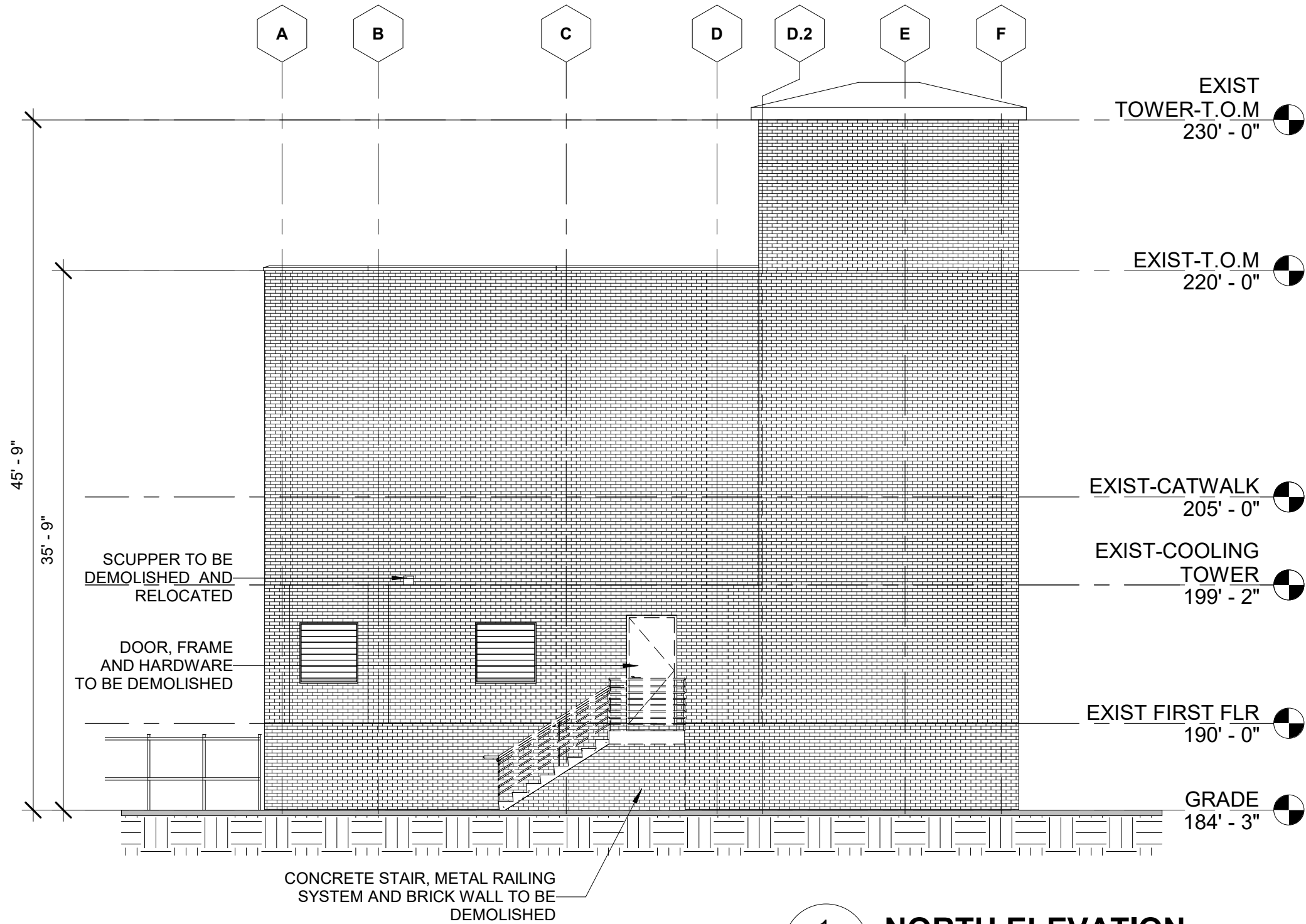
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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
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DEMOLITION FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"	DRAWING NO. A-101	SHEET NO. 6 OF 20
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1 **NORTH ELEVATION**
A-102 1/8" = 1'-0"

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FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

SEAL



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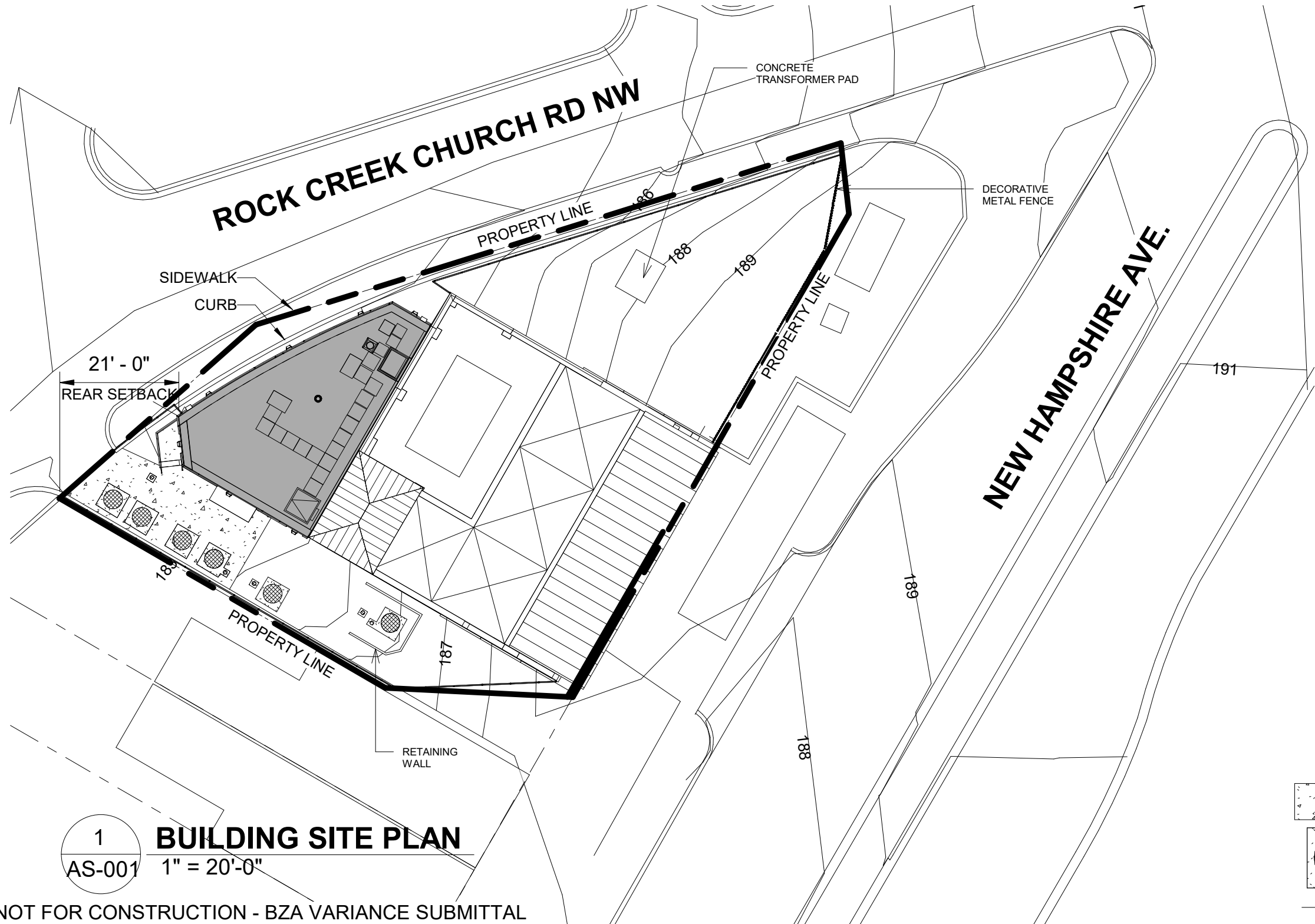
**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

DEMOLITION-ELEVATION

SCALE
1/8" = 1'-0"

DRAWING NO.
A-102

SHEET NO.
7 OF 20



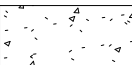
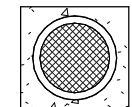
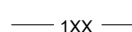
2
AS-001

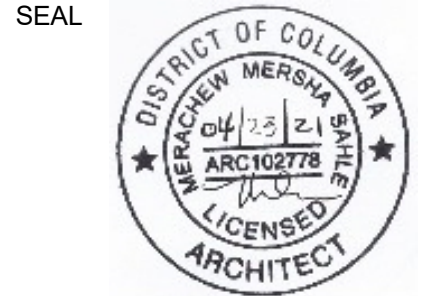
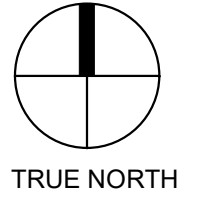
AREAL MAP
1" = 80'-0"

1
AS-001

BUILDING SITE PLAN
1" = 20'-0"

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- LEGEND**
-  CONCRETE PAVED DRIVEWAY
 -  WELL MANHOLES
 -  1XX CONTOUR LINES



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SITE PLAN

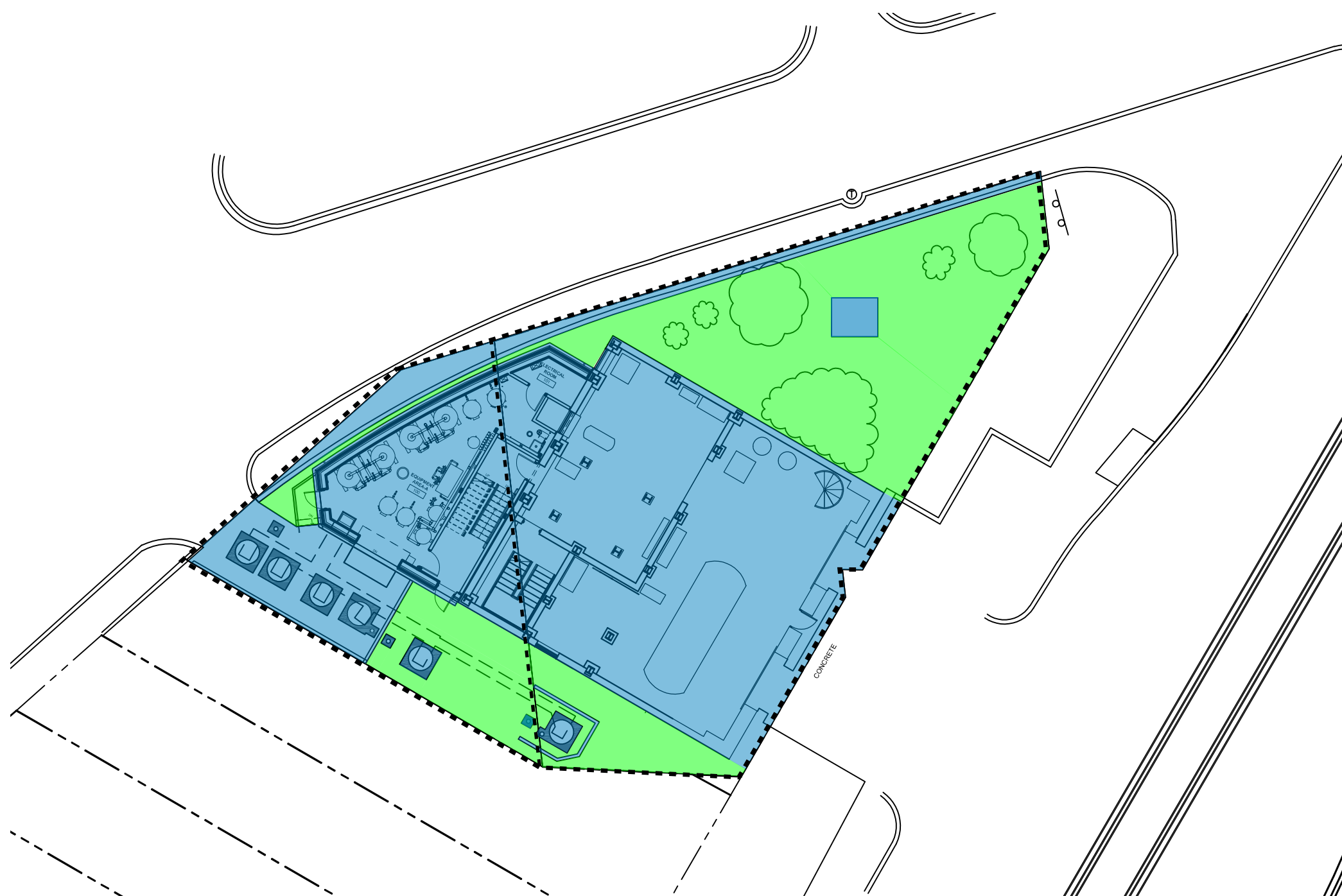
SCALE	DRAWING NO.	SHEET NO.
As indicated	AS-001	8 OF 20

4/28/2021

PERVIOUS AREA CALCULATIONS

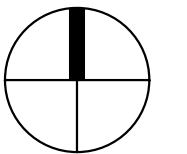
TOTAL LOT AREA (47 & 21) = 7,180 SF OFFICE OF SURVEYORS- PLAT INFORMATION

IMPERVIOUS AREA- LOT 47	AREA (SQFT)	COMBINED LOT PERCENTAGE (LOT 21 & 47)
BUILDING	2,630.00	36.63
SIDEWALK	160	2.23
PAVED DRIVEWAY	126.5	1.76
RETAINING WALL	12	0.17
MAN HOLE w/ CONC. PAD	26.5	0.37
TRANSFORMER PAD	47.5	0.66
IMPERVIOUS AREA- LOT 21		
BUILDING	889	12.38
SIDEWALK	147	2.05
RETAINING WALL	2	0.03
MAN HOLE w/ CONC. PAD	56	0.78
RAMP	24	0.33
Concrete Driveway/Curb	446	6.21
TOTAL IMPERVIOUS AREA (%)		63.60
TOTAL PERVIOUS AREA (%)		36.40
CONSTRUCTION CONTINGENCY FOR IMPERVIOUS AREA (%)		0.40
PROPOSED TOTAL PERVIOUS AREA (%)		36.00



LEGEND

- IMPERVIOUS AREA
- PERVIOUS AREA
- PROPERTY LINE



TRUE NORTH

1 BUILDING SITE PLAN-PERVIOUS AREA
AS-002 1" = 20'-0"

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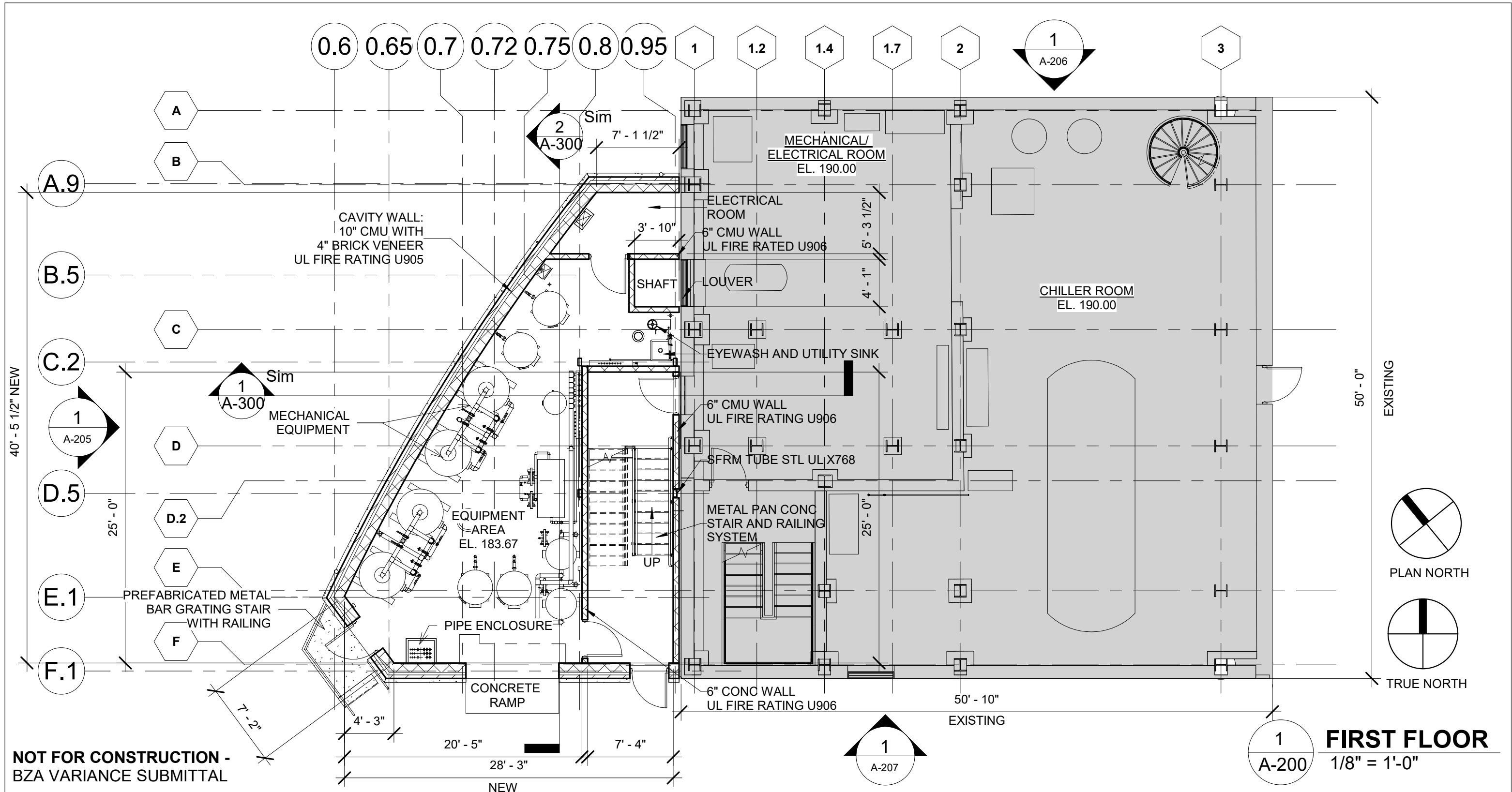


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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
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PERVIOUS SITE PLAN

SCALE 1" = 20'-0"	DRAWING NO. AS-002	SHEET NO. 9 OF 20
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FIRST FLOOR

1/8" = 1'-0"

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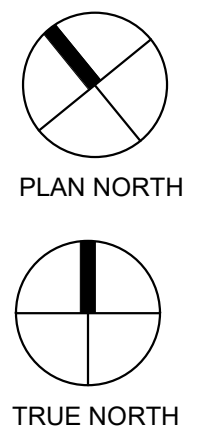
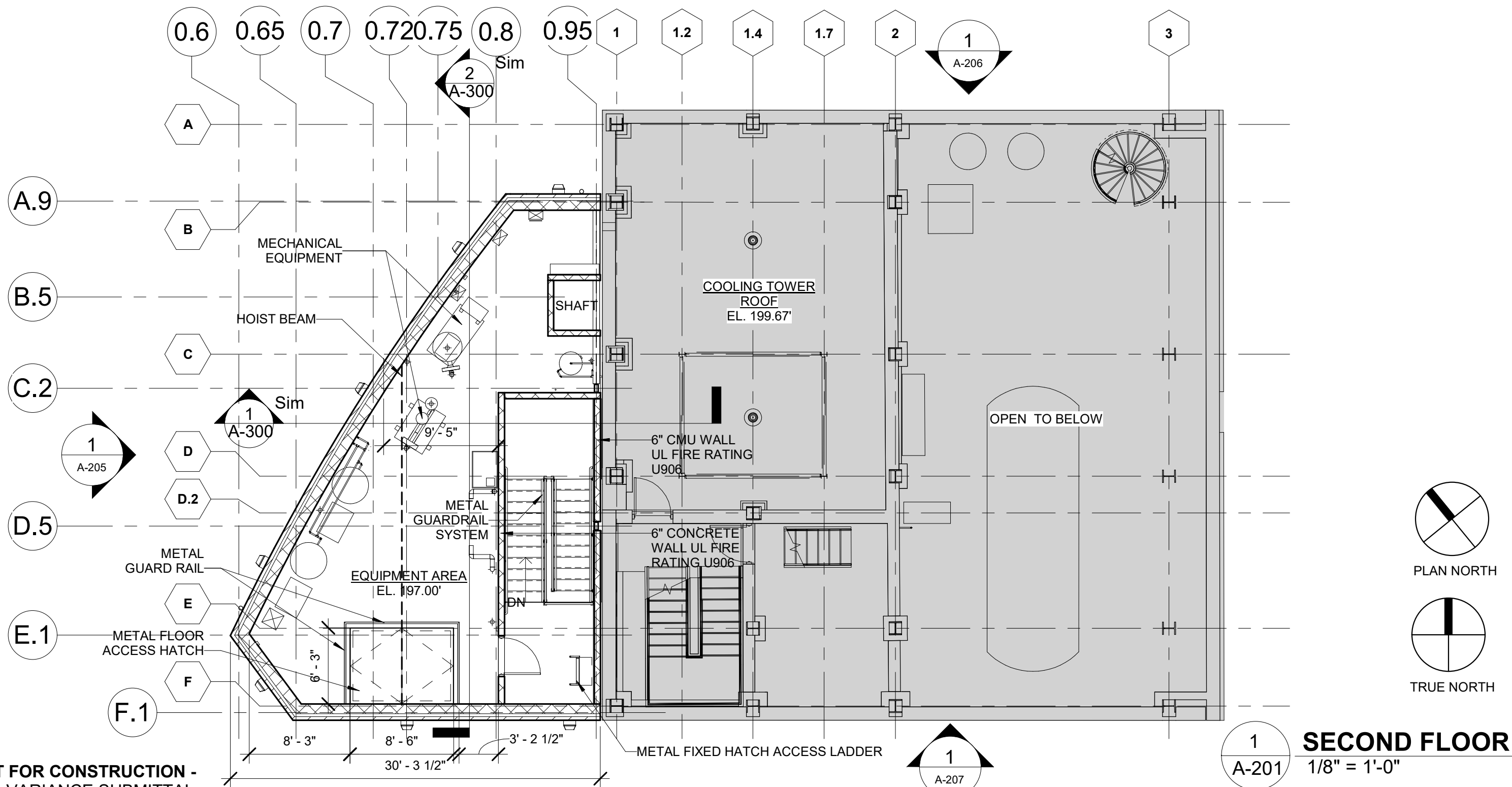
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GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

NEW WORK-FLOOR PLAN

SCALE
1/8" = 1'-0"

DRAWING NO.
A-200

SHEET NO.
10 OF 20



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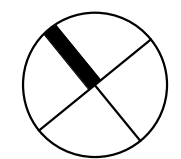
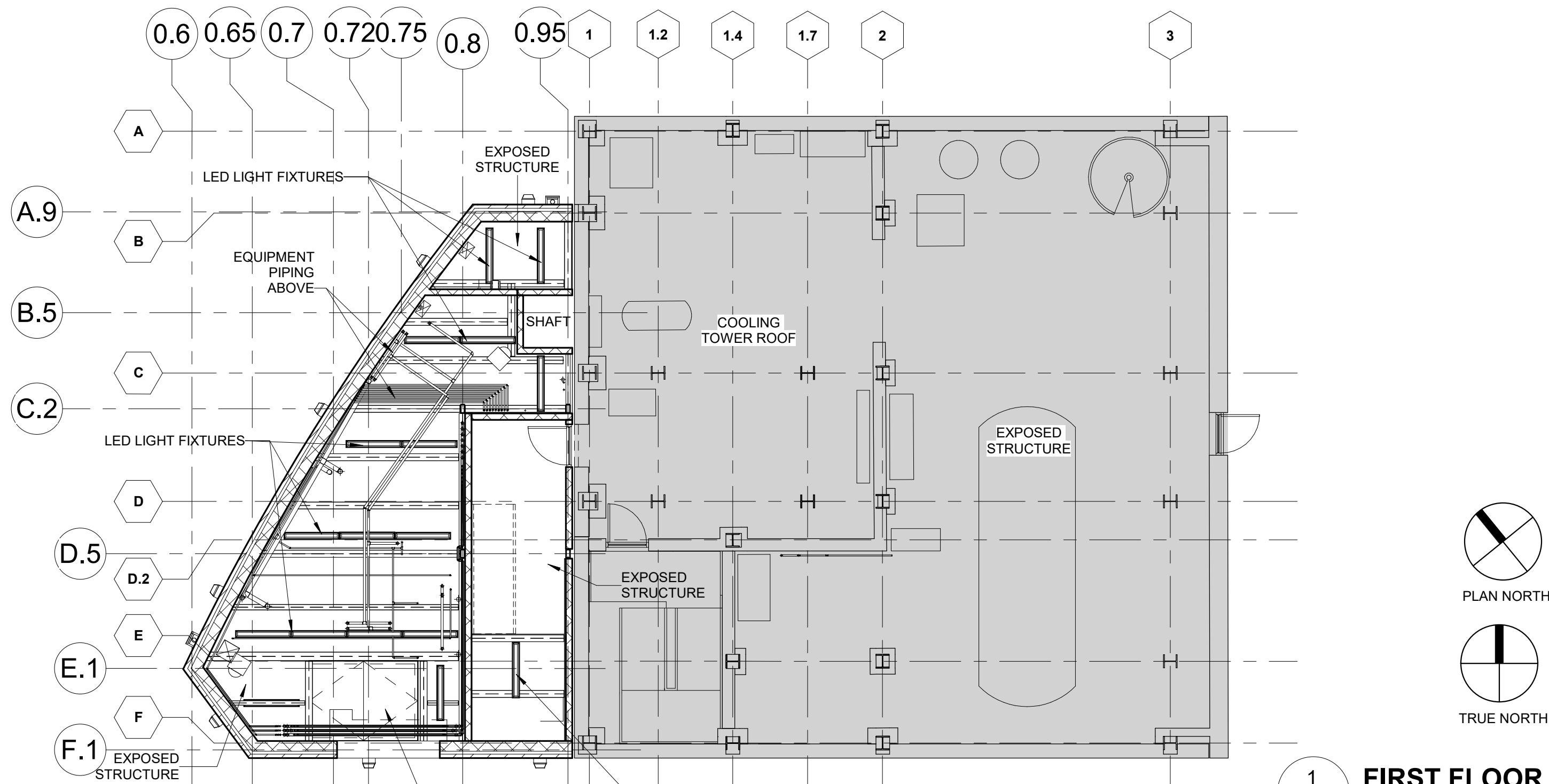
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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

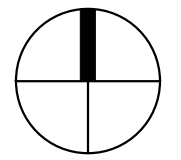
NEW WORK-FLOOR PLAN

SCALE 1/8" = 1'-0"	DRAWING NO. A-201	SHEET NO. 11 OF 20
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1 SECOND FLOOR
A-201 1/8" = 1'-0"



PLAN NORTH



TRUE NORTH

1
A-202 **FIRST FLOOR**
1/8" = 1'-0"

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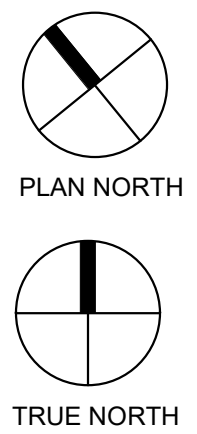
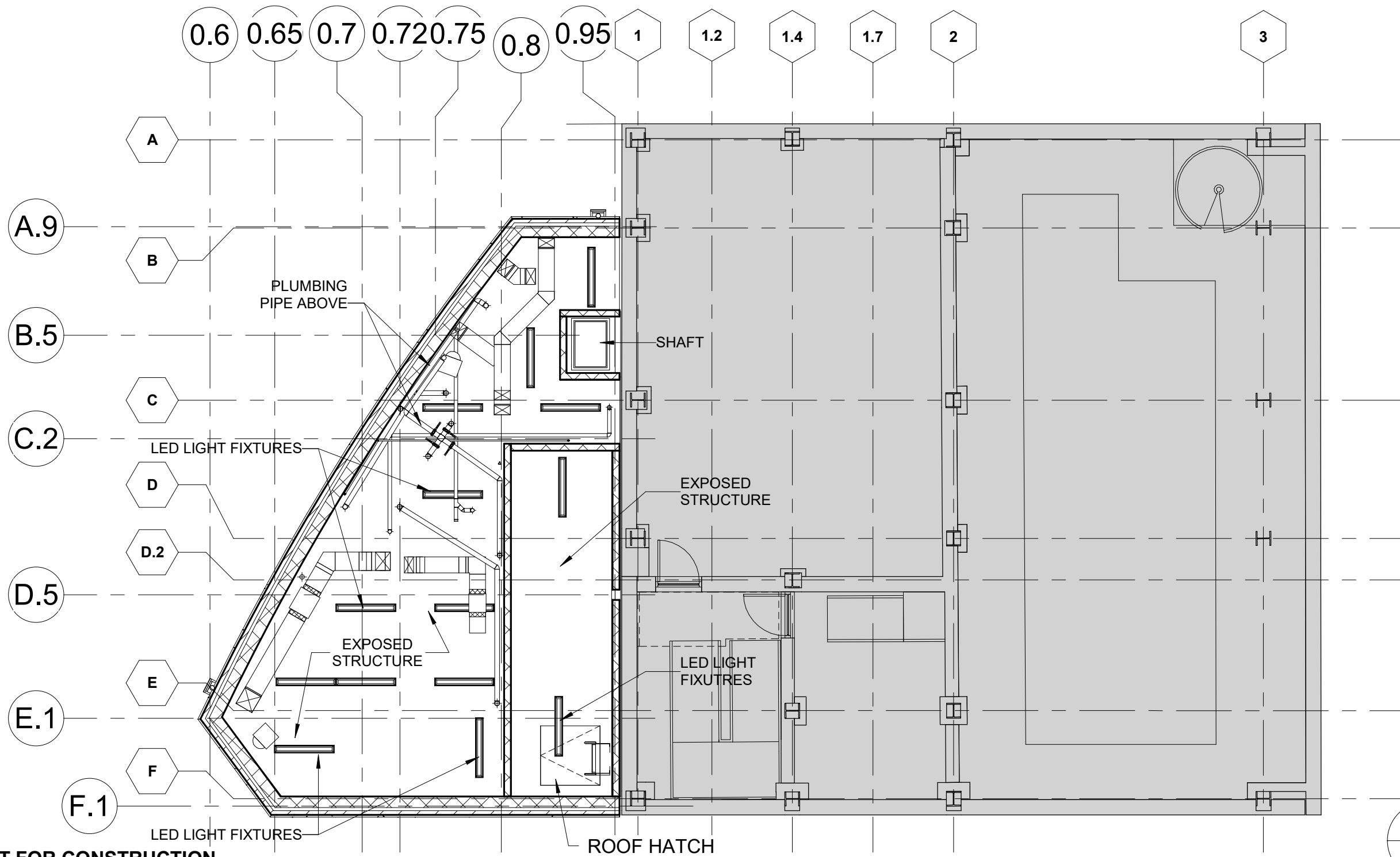
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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
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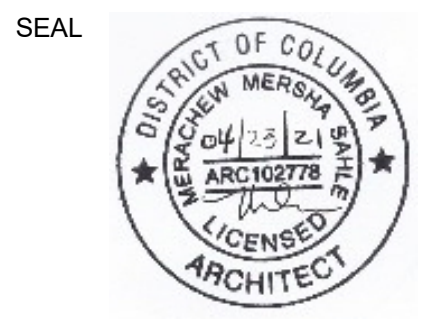
REFLECTED CEILING PLAN

SCALE 1/8" = 1'-0"	DRAWING NO. A-202	SHEET NO. 12 OF 20
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1
A-203 **SECOND FLOOR**
1/8" = 1'-0"

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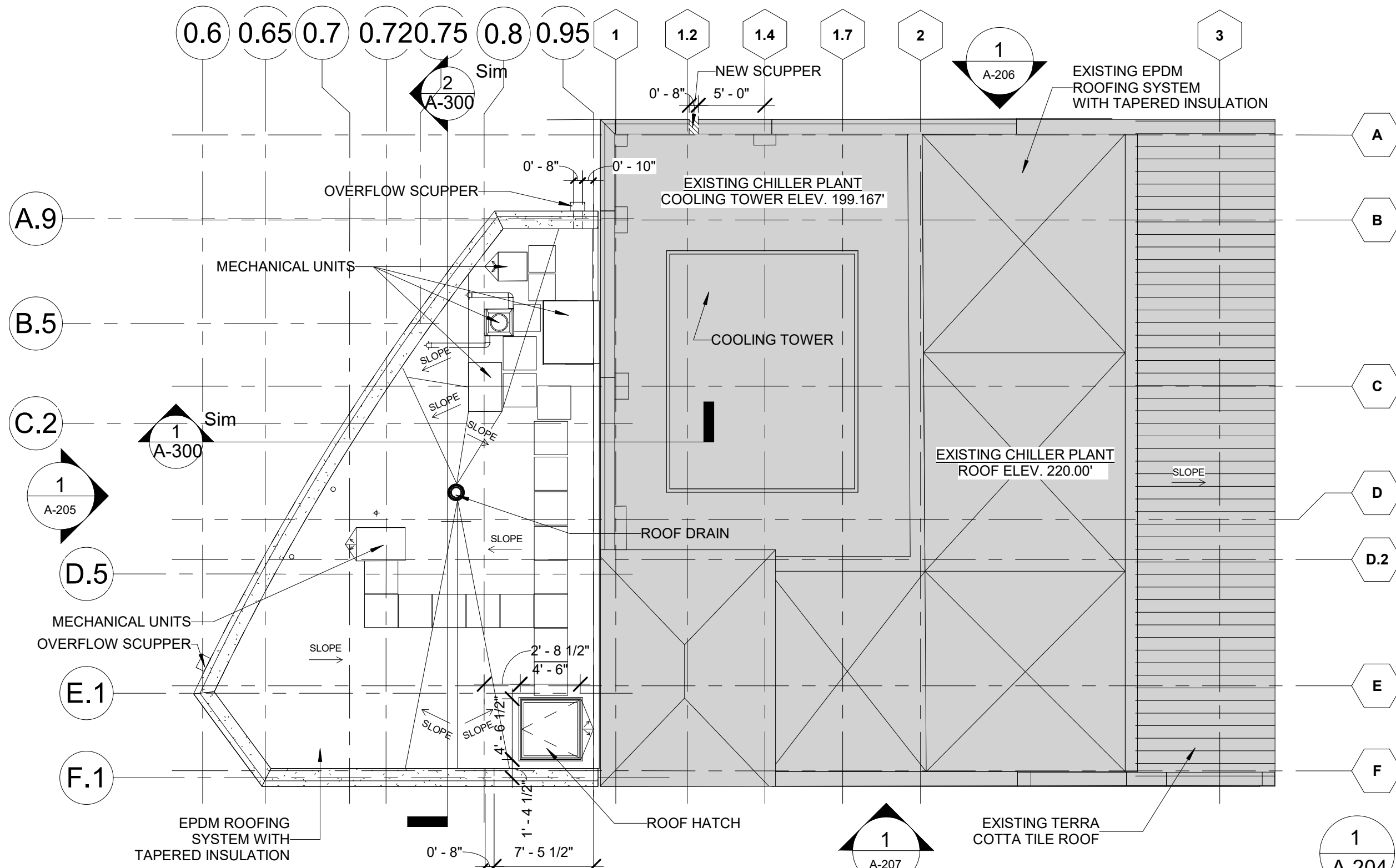
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GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

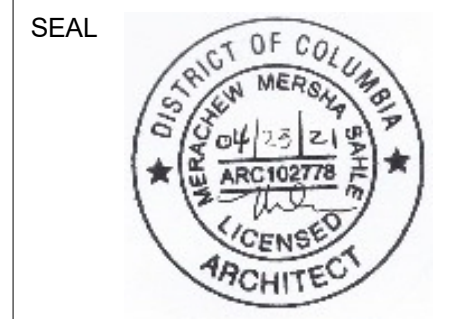
REFLECTED CEILING PLAN

SCALE 1/8" = 1'-0"	DRAWING NO. A-203	SHEET NO. 13 OF 20
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1 **ROOF PLAN**
A-204 1/8" = 1'-0"

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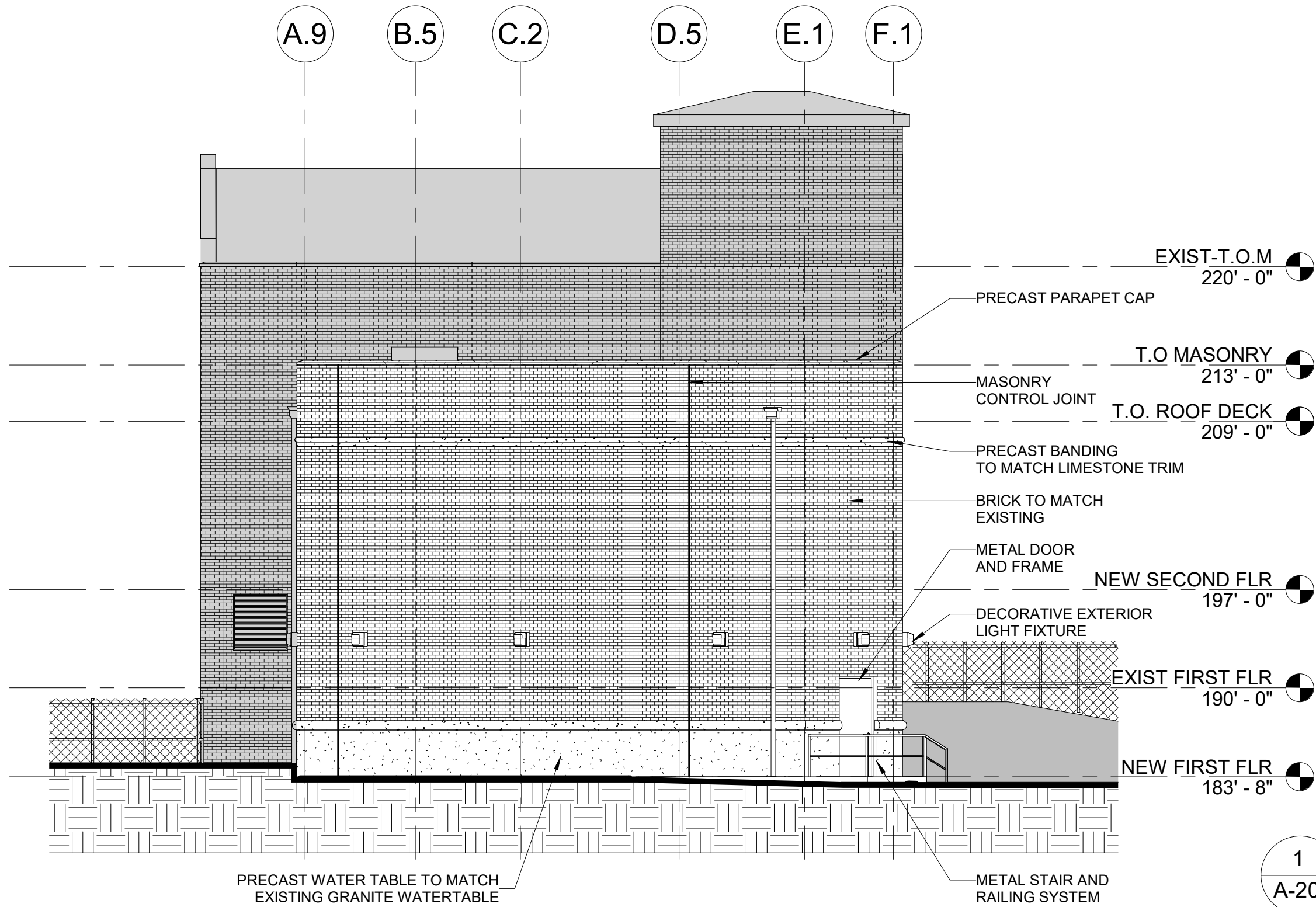
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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

NEW WORK-ROOF PLAN

SCALE 1/8" = 1'-0"	DRAWING NO. A-204	SHEET NO. 14 OF 20
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1
A-205 **REAR ELEVATION**
1/8" = 1'-0"

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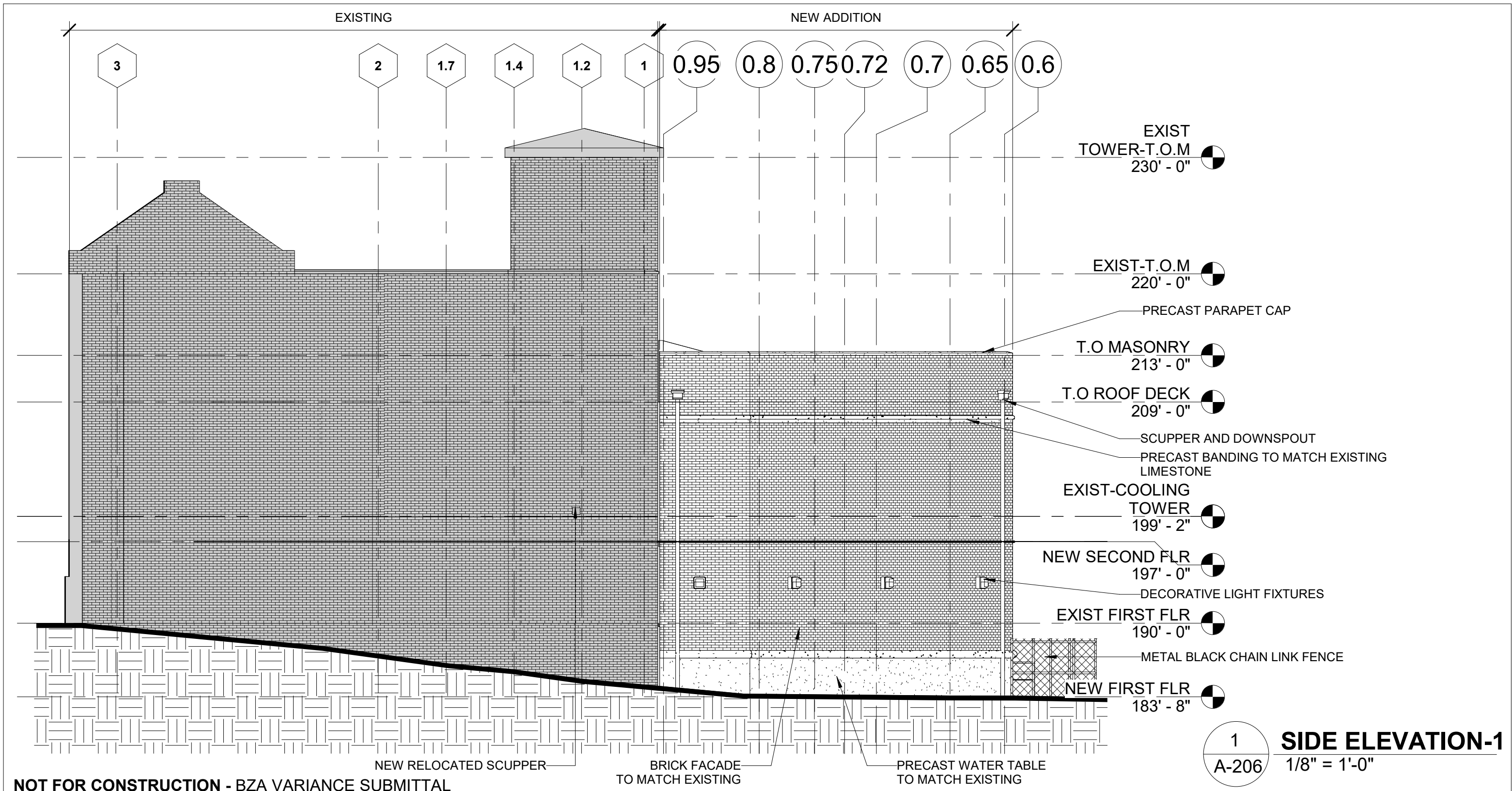


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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

BUILDING ELEVATION

SCALE 1/8" = 1'-0"	DRAWING NO. A-205	SHEET NO. 15 OF 20
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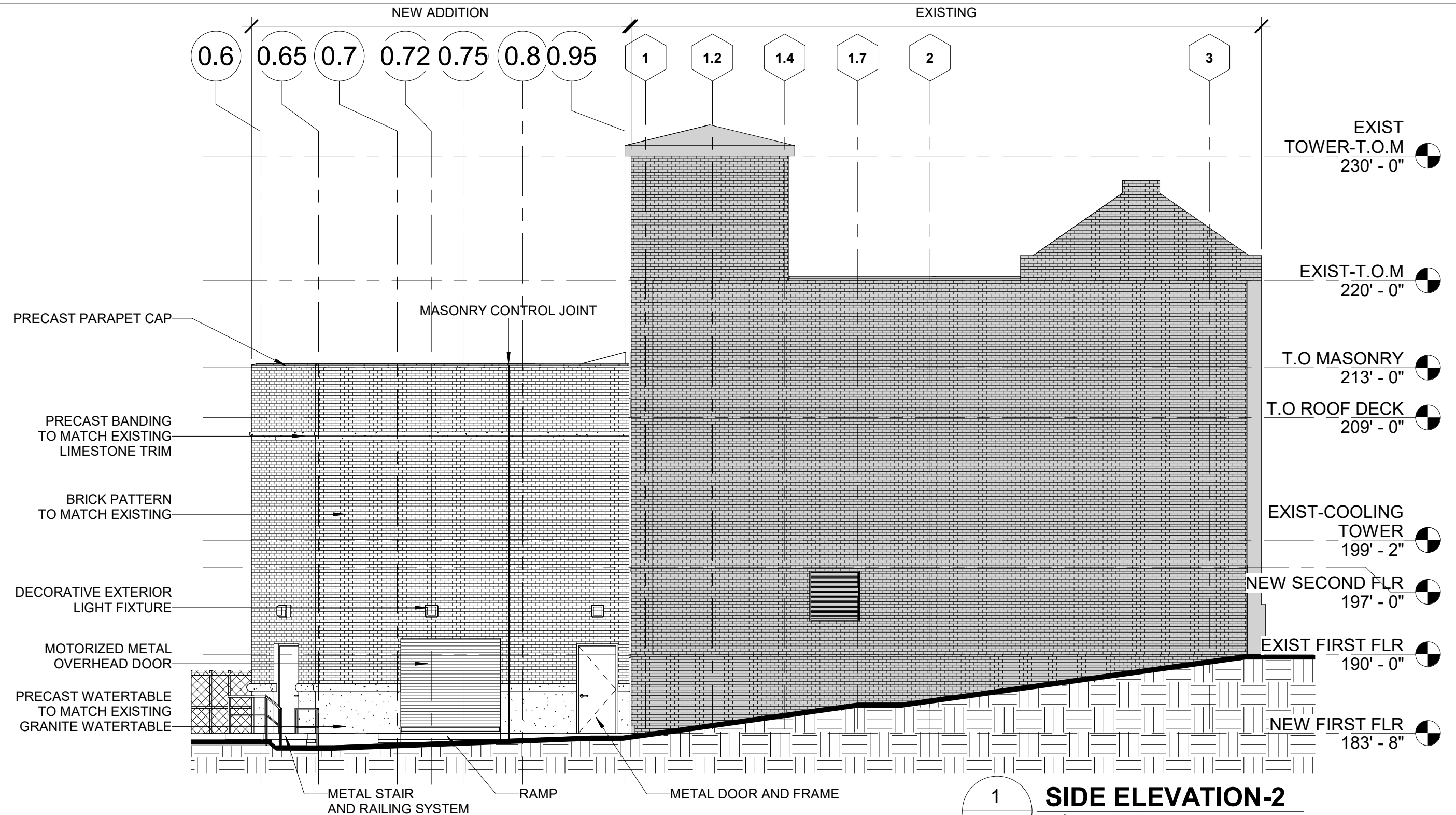
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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

BUILDING ELEVATION

SCALE 1/8" = 1'-0"	DRAWING NO. A-206	SHEET NO. 16 OF 20
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1
A-206 **SIDE ELEVATION-1**
1/8" = 1'-0"



1 **SIDE ELEVATION-2**
A-207 1/8" = 1'-0"

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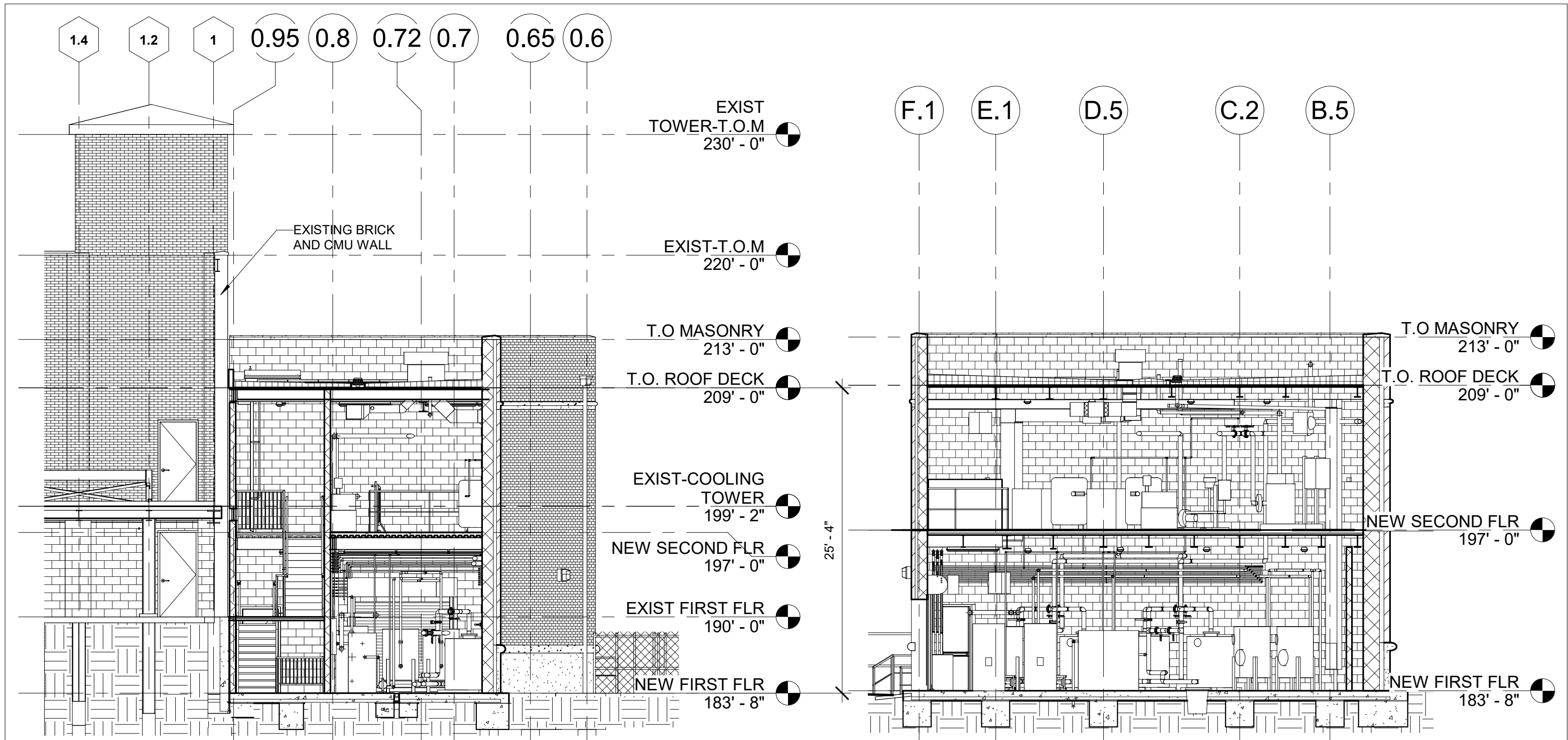
**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

BUILDING ELEVATION

SCALE
1/8" = 1'-0"

DRAWING NO.
A-207

SHEET NO.
17 OF 20



1 BUILDING SECTION A
A-300 1/8" = 1'-0"

2 BUILDING SECTION B
A-300 1/8" = 1'-0"

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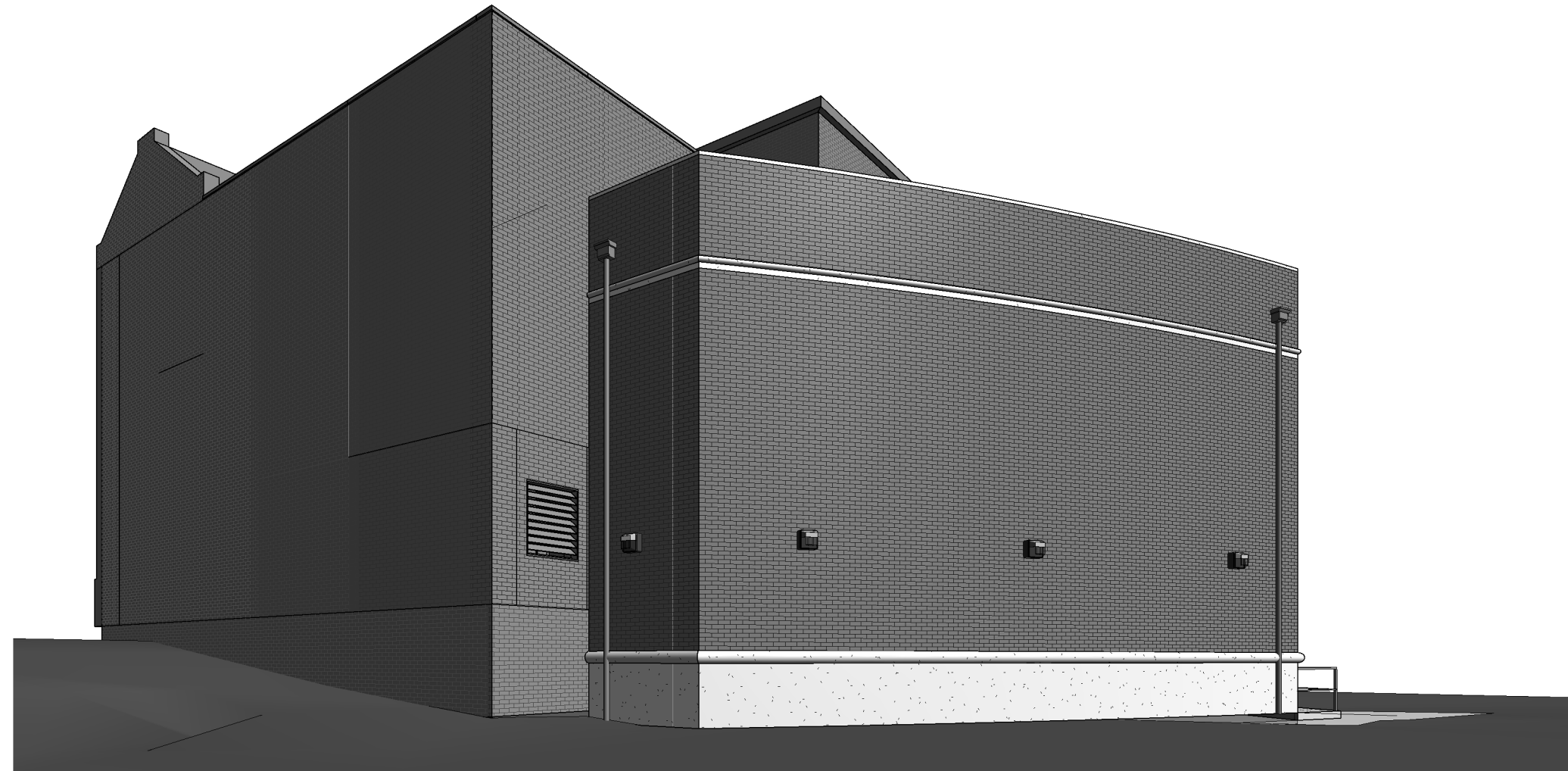
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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

BUILDING SECTION

SCALE 1/8" = 1'-0"	DRAWING NO. A-300	SHEET NO. 18 OF 20
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2
A-400

EXTERIOR PERSPECTIVE-1

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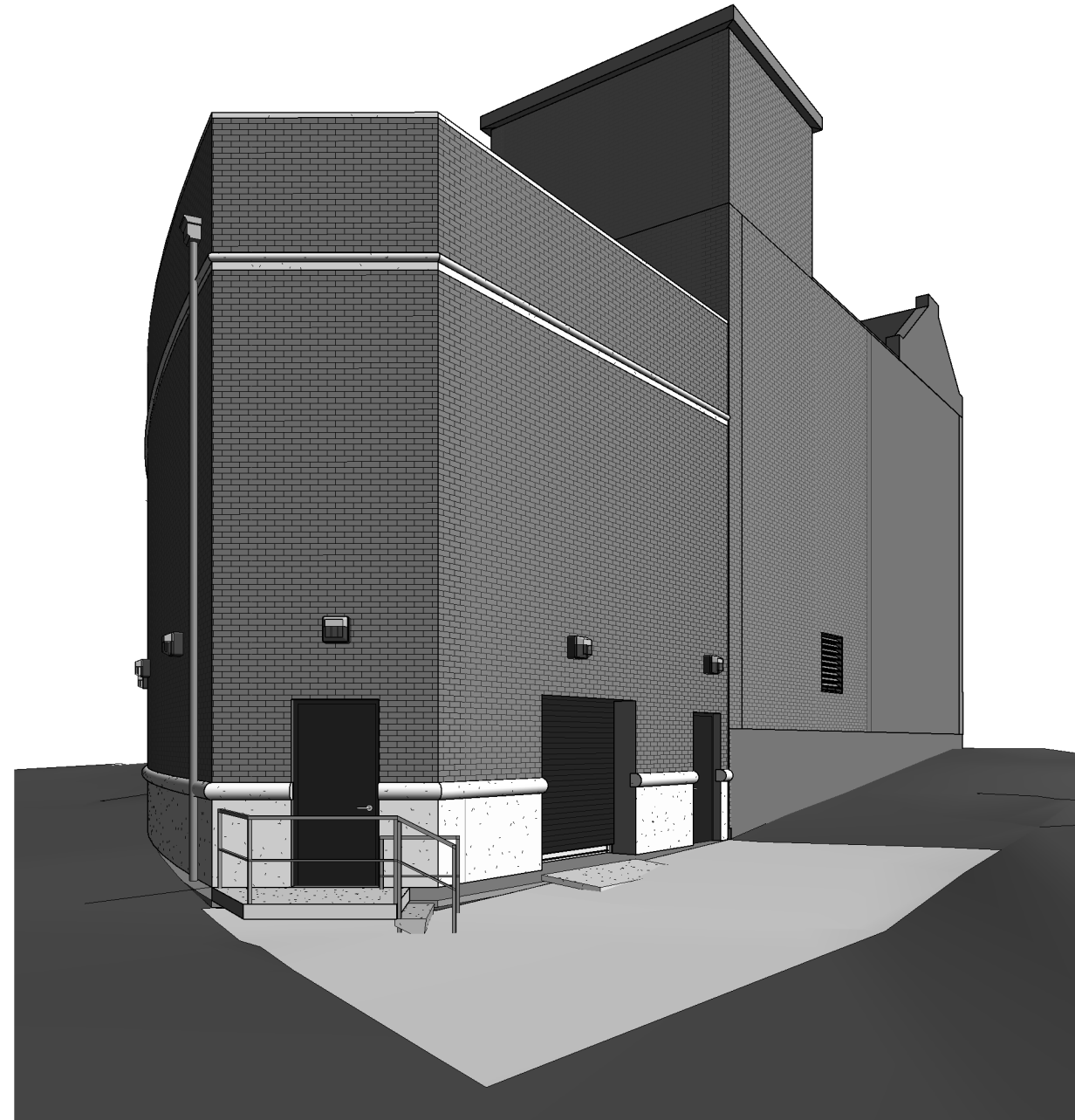


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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

EXTERIOR RENDERINGS

SCALE	DRAWING NO. A-400	SHEET NO. 19 OF 20
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1
A-401 **EXTERIOR PERSPECTIVE-2**

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**WMATA CHILLER PLANT - NEW HAMPSHIRE AVENUE
GROUNDWATER REMEDIATION AND TREATMENT SYSTEM**

EXTERIOR RENDERINGS

SCALE

DRAWING NO.

SHEET NO.

A-401

20 OF 20